

## COMMITTEE ON JOINT SCHOOL BUILDINGS

June 02, 2020

3:00 p.m.

The Clerk called the meeting to order.

Due to the COVID-19/Coronavirus crisis and in accordance with Governor Sununu's Emergency Order #12 pursuant to Executive Order 2020-04, this Board is authorized to meet electronically.

The Clerk called the roll.

Present: Aldermen Terrio, Shaw (late), School Committee Members Beaudry, Porter, Soule

Absent: Alderman Long

Messrs.: J. Gagne, K. DeFrancis

The Clerk requested nominations for a Chair of the Committee.

*Alderman Terrio nominated School Committee Member Beaudry for Chair.*

*School Committee Member Porter duly seconded the motion. A roll call vote was taken. Alderman Terrio, School Committee Members Soule and Porter all voted yea. The motion carried.*

The Clerk read into the record the subjects typically handled by this Committee.

*This Committee is statutory in nature. For those of you haven't had any experience with the Joint School Buildings Committee, the statute provides that you have oversight of the construction of school facilities in the City of Manchester. You have the duty to oversee and decide all matters relating to the construction of school houses and submit monthly status reports relating to the construction progress; prepare and submit*

*audit; submit financial reports relating to total authorized construction budget and expenditures; and then anything that is appropriated by the Board of Mayor and Aldermen is administered by this Committee in terms of construction and schools. They cannot be erected or otherwise altered without coming to this Committee.*

6. School Facilities Update:

- Southside 5th Grade Inclusion
- MST Hangar

Josh Gagne, Facilities Manager, stated with respect to the Southside 5<sup>th</sup> Grade Inclusion, I believe you have the numbers in front of you. The construction contract is \$559,853. There are architectural fees of \$24,900 and we estimated as a contingency \$20,000 for moving fees, which is moving equipment from other elementary schools to Southside once construction is over. Then there is 10% or a little less for contingency. Currently the project is on schedule. Demo is complete. The major activities happening now revolve around drywall taping and painting, as well as lighting. There is new lighting going in. Those are the major activities going on now. You had requested that I give you an update on the number of classrooms. We are giving up existing space so in effect this would add approximately six new spaces. There were three classrooms that were originally open concept that had temporary barriers. We are now making those closed classrooms. I don't know if anyone has any questions.

Alderman Terrio stated I have two questions. The first is it is my understanding that the school board has delayed the move to Southside by one year yet the building is going to be done this year. Is that going to create problems as far as where the students are going to be placed this year?

Mr. Gagne replied with respect to the moving fees, it doesn't affect that at all. That is just money that we put aside for that. From a Facilities standpoint, I still need to get the project complete before school starts. We can't have construction activities in the building when students return whether they occupy those rooms or not. I don't know if Karen is on the line but maybe that is a question she can speak to more than I.

Karen DeFrancis, Chief Financial Officer, responded the principal will have to work with the building the way it is constructed. They will have to make sure that they reserve that space for the students next year when they do phase in the 5<sup>th</sup> grade. The principal is aware that the construction is happening but that the phase in won't be until the next year.

Alderman Terrio stated my second question is I see there is money for an outdoor classroom and historically the Manchester School District has frowned upon outdoor classrooms so are we building an outdoor classroom at Southside?

Chairman Beaudry replied yes and we did the same thing at Parkside. Josh do you want to enlighten him on what it is going to look like?

Mr. Gagne stated it hasn't been established yet. It is still being designed right now as we speak so I can't tell you exactly what it is going to look like. I believe at Parkside they put in a soccer pitch and things that are geared more toward older kids like 5<sup>th</sup> graders. Maybe by next month I will be able to show you what is proposed. Karen may know more about it than I do at this point.

Ms. DeFrancis stated it is currently being worked on and we don't have the final plan for it. We are working with the principal and Assistant Superintendent Gillis to come up with a design. I also did want to inform the committee that the total

budget for this project is \$800,000 and that was approved by the BOSC. It is coming out of the school district's general fund operating budget. The monies that were set aside for the playground or the outdoor classroom are including in that \$800,000. Again, the final design is not ready yet.

School Committee Member Soule asked are you on schedule now and have you had any cost overruns in the initial part of the construction and if so how are you going to make those up as you move forward?

Mr. Gagne answered yes we are on schedule and as I mentioned earlier we have \$50,000 in project contingency which is to pick up things that weren't known. Currently, we have spent \$26,700 of that contingency on various unforeseen conditions and other things. Now that we are out of the demolition phase, the more the project progresses the less risky it becomes because all unknowns are identified. I would say that we are not encountering any cost overruns at this time. We are still within budget and we are on schedule.

School Committee Member Soule asked are you the person overseeing the project? I am used to having a Clerk of the Works.

Mr. Gagne responded I manage Facilities and assigned to the project are a project manager and a Clerk of the Works. Tomorrow there is a project meeting for example and all three of us will be there. I don't manage it daily hands-on but there are two people from Facilities that are doing that.

School Committee Member Soule responded thank you. I just wanted to make sure that someone was overseeing this and whose responsibility it was.

Chairman Beaudry stated one thing I would like to bring up Josh is on past projects when I was on this committee there would be change orders to be approved. Normally, the Joint School Buildings Committee is the one that approves any change orders up to a certain amount. I can't remember what the process was during the design-build but when it exceeded a certain amount we actually had to go back to the school board if it was a significant change of scope and they had to okay it. I don't know what the change orders were but you said you already spent \$26,000 out of the \$50,000 and I am a little dismayed that we were late setting this committee up because really that oversight should have been done through this committee.

Mr. Gagne answered what we did was set up a contingency account for \$50,000 knowing that we would have a number of unknowns. For example, we had to provide a disconnect to a transformer and that was \$464. There was some spray insulation that was damaged on some beams when we took the portable petitions down so that had to be reapplied and that was \$2,700. It was all things like that. I don't know that we can really wait a month to approve things when we only have three months to do the project. Within the contingency I would like to be able to have the flexibility with the school district to manage it so we can keep the project moving. I agree that if there are any big changes that fall outside the scope that we would come back to the committee to make you aware of that.

Chairman Beaudry responded I would tend to agree with that. If there is any change in the scope of the project, this committee would have to know about it and if it is a drastic change in the scope then we would have to go back to the school board because they are the ones who authorized the plans that we see before us today. If there are any big changes to that, I think they would have to weigh in on that.

Ms. DeFrancis stated I know that recently whiteboards came up. I don't believe they were included in the original project but we do need whiteboards in those classrooms. Josh, I am not sure if you have that dollar amount but is that something you consider would need to come back or is that something that could come from contingency? It is not really changing the scope of the project but it was a cost that we weren't expecting but can come out of contingency.

Mr. Gagne stated the cost of the whiteboards was \$5,900 and there were five of them.

Chairman Beaudry asked was that part of the \$26,000?

Mr. Gagne answered we expended it within the \$50,000 contingency so yes it is part of that \$26,000.

Chairman Beaudry asked does that answer your question Ms. DeFrancis?

Ms. DeFrancis replied yes I just wanted to make sure that the committee is okay with things like that not coming back to this committee. If it falls within contingency...I guess this is something that was missed. It wasn't unknown that we needed whiteboards, it was just something we didn't plan for. Again, as Mr. Gagne had mentioned, it is difficult to come back to the committee with things like that and I just want to make sure that we are clear, Josh and I, as far as the type of things that need to come back for a vote. If I understand it correctly, if it falls within contingency we don't need to come back to the committee but if it is something outside of contingency we would have to come back.

Chairman Beaudry responded my question would be what falls within contingency? It is not just a monetary value. It has to be the actual physical

change also. I know we used to get a list of the change orders that would come to the committee for informational purposes. Like I said, we used to have a monetary number on change orders when they had to come back and get permission. I can't remember what that number was but I don't want to slow the project down. I totally agree with Josh but we also have to have this committee which, if you read the RSA, has the oversight on any changes to the project. We should be aware of it and over a certain monetary value have to approve it. Josh, what are your thoughts on that?

Mr. Gagne answered I agree. I think that everything that has been done so far is just construction related. We are not changing the scope of work and we are not changing the design and we are not adding things. We discovered for example that the boys and girls locker room is being changed into a classroom so it needs to have electricity, outlets and data. It is things like that that are missed and we need to add it back in. Again, that is why we have that contingency so we can keep moving forward. What I can do is send you next month the change request log which has all of the little items so you can see where the money has gone.

Chairman Beaudry replied excellent. That would be perfect.

Alderman Shaw stated I apologize if you explained this already but the gentleman that you are speaking to, is he a new person...he is not the guy that was running it before. Is he a new person?

Mr. Gagne stated I was here for Parkside and oversaw that project. Like I said, we have several people from Facilities involved in managing the project and they are the same people that managed Parkside.

Alderman Shaw asked what are you talking about? Are you talking about Parkside? What facility are you talking about right now?

Mr. Gagne answered we are working on Southside. You asked if it was the same person and I assume you are referring to me. I was involved with Parkside and it is the same team that did Parkside.

Alderman Terrio stated it is Josh Gagne who is on the line.

Alderman Shaw stated okay I am sorry. I was going to ask what happened to Josh Gagne because I didn't recognize your voice and I can't see your face. You brought things to us in committee before like what you said you will give us for next month which is a change order list and you basically had free range of the contingency as long as it was within the parameters of the design.

School Committee Member Porter stated being new to this committee, Chairman Beaudry you suggested that I stop by the actual construction site. What is the process to communicate if we do want to come back and see how it is going?

School Committee Member Soule stated we contacted Jen Gillis. Jane Beaulieu and myself are going to visit Southside on Thursday. We went through Jen to do it. That is what we did.

School Committee Member Porter asked what time are you going on Thursday?

School Committee Member Soule answered noontime and you are welcome to join us.



Ms. DeFrancis stated I just want to get Josh's feedback on that because I know when we had the construction project over here at West High that sometimes the construction people did not want anyone on the site and it really needs to be organized with them because you might have to wear hardhats because it is still their liability once it is in their hands. I just wanted to get Josh's feedback on how he thinks that should be organized.

Mr. Gagne stated my only point would be when you go to the site you go to the site office and at Southside it is in the shops room near the rear door and sign in so the contractor knows you are there. Then he can escort you to the pertinent areas and answer questions.

Chairman Beaudry stated if there are no further questions on the Southside project, we will move on to the MST Hangar.

Mr. Gagne stated with respect to that project, we expect to do boring tests this week and then we have design in progress with our structural engineer and the building manufacturer. All of those things are in progress. We probably won't start on-site for another three or four weeks until we get that information back. We do know just from site investigation that we need to move a Comcast wire that is buried right in our way so we will get a cost for that. Again, that will probably just be a contingency item but I will let you know next month what the cost is for that.

Chairman Beaudry asked what is the total cost for the project?

Mr. Gagne answered \$244,000.

Chairman Beaudry asked where exactly are you putting that? I have been at MST quite often. Are you putting it in the back on the grass by the portables?

Mr. Gagne replied yes. When you drive onto campus the school is on your left and it would be at the end where the greenhouse is.

Chairman Beaudry asked is it going to be attached to the school or detached?

Mr. Gagne responded it will be detached but it will be a few feet from the school.

Alderman Terrio asked how big is the slab because we are spending almost \$80,000 just to pour a slab of concrete and that seems excessive to me? Can you elaborate on that?

Mr. Gagne answered there is site work there. We need to go down...we bid it out a number of times and that is the cost. It is to excavate, put our footings in, get out of the ground and put the slab in.

Alderman Terrio asked what is the footprint that we are talking about?

Mr. Gagne replied I believe it is 24' x 20' or 24' x 24' if I recall correctly.

Alderman Shaw asked what is the slab for? I am probably the only one that doesn't know that.

Mr. Gagne answered the slab is the floor.

Alderman Shaw asked but for what?

Mr. Gagne responded it is for the airplane hangar. Once the slab is in place, we will take the engineered building and install it on top of the slab.

Alderman Shaw replied I know what a slab is for. I was wondering what was going on top of it.

Chairman Beaudry stated the hangar. That is where they are going to be building the airplanes from now on. Josh has there been any talk with the people from MST to see if the kids could get involved in some of this construction or is that something we wouldn't want to deal with?

Mr. Gagne answered I don't know if they discussed it. I would rather not get involved with it. We have a contractor and they have liability and we have a schedule.

Chairman Beaudry stated pouring the slab and stuff like that seems like something that our students could have done but I am just throwing that out there. They build houses and they do a good job so I know they could do it if they had to.

Alderman Terrio stated I have a logistical question. So they are going to build an airplane at the MST campus. How are they going to get to the airport because obviously they are going to have to take it to an airport at some point to sell it or fly it? Just out of curiosity have they discussed that?

Mr. Gagne replied I am not sure how that process works. They are building some airplanes now in the bay next to the greenhouse. I believe what they do is build the body and the wings but they don't attach the wings. I am assuming that they transport it with the wings off and attach the wings once it gets to its destination. That is just a guess.

Alderman Shaw stated that is exactly what they do. My husband moved a fuselage once on his tractor trailer. They moved that and then they moved the wings. If there is enough room depending on the size, they can put the wings alongside on the tractor trailer but if not they move them separately and then they attach them when they get to the destination.

Chairman Beaudry asked Josh do you have anything further on the project?

Mr. Gagne responded no we are just trying to get started. I will have more for your next month.

Chairman Beaudry stated if we can have a set of plans once you get them that would be good. As far as the committee's next meeting, do you want to meet a month from today so it will be the first Tuesday in July? I am open to whatever the committee wants to do.

Alderman Terrio asked to make it efficient should we have the date coincide with an aldermanic or school board meeting?

Chairman Beaudry answered that is fine. I think we will still be distanced and doing virtual meetings. I am open to whatever the committee wants to do.

City Clerk Normand stated July 7 is the next regular BMA meeting so we could do it that afternoon if it works for everybody.

Chairman Beaudry stated that's good. So the aldermen don't take July off? At the school board we take the month of July off. We don't have meetings.

City Clerk Normand answered the BMA meets once a month in the summer.

Chairman Beaudry asked is July 7 okay with the school board members? The consensus was yes.

*There being no further business, **School Committee Member Soule** moved to adjourn. **Alderman Terrio** duly seconded the motion. The motion carried on a unanimous roll call vote.*

A True Record. Attest.

A handwritten signature in black ink, appearing to read "Matthew Normand", with a stylized flourish at the end.

Clerk of Committee

*Kevin A. Sheppard, P.E.*  
*Public Works Director*

*Timothy J. Clougherty*  
*Deputy Public Works Director*

*Josh Gagné*  
*Chief Facilities Manager*



*Commission*  
*Toni Pappas*  
*Patrick Robinson*  
*James Burkush*  
*Trixie Vazquez*  
*Armand Forest*

**CITY OF MANCHESTER**  
*Department of Public Works*  
*Facilities Division*

**To:** Arthur Beaudry  
**From:** Josh Gagne  
**Date:** May 5, 2020  
**Subject:** Joint Building Committee Agenda:

**I. Southside 5<sup>th</sup> Grade Inclusion**

Project is ongoing. Contractor mobilized on site April 27<sup>th</sup>. Project schedule is attached.

Project budget:  
Construction contract: \$ 559,853  
Architectural fees: \$ 24,900  
Estimated moving fees: \$ 20,000  
Project contingency: \$ 50,000

Outdoor play space est. \$ 50,000  
Outdoor classroom \$100,000

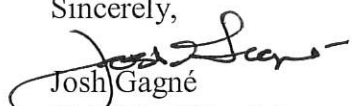
**II. MST Hangar:**

Project pending final BOSC vote.

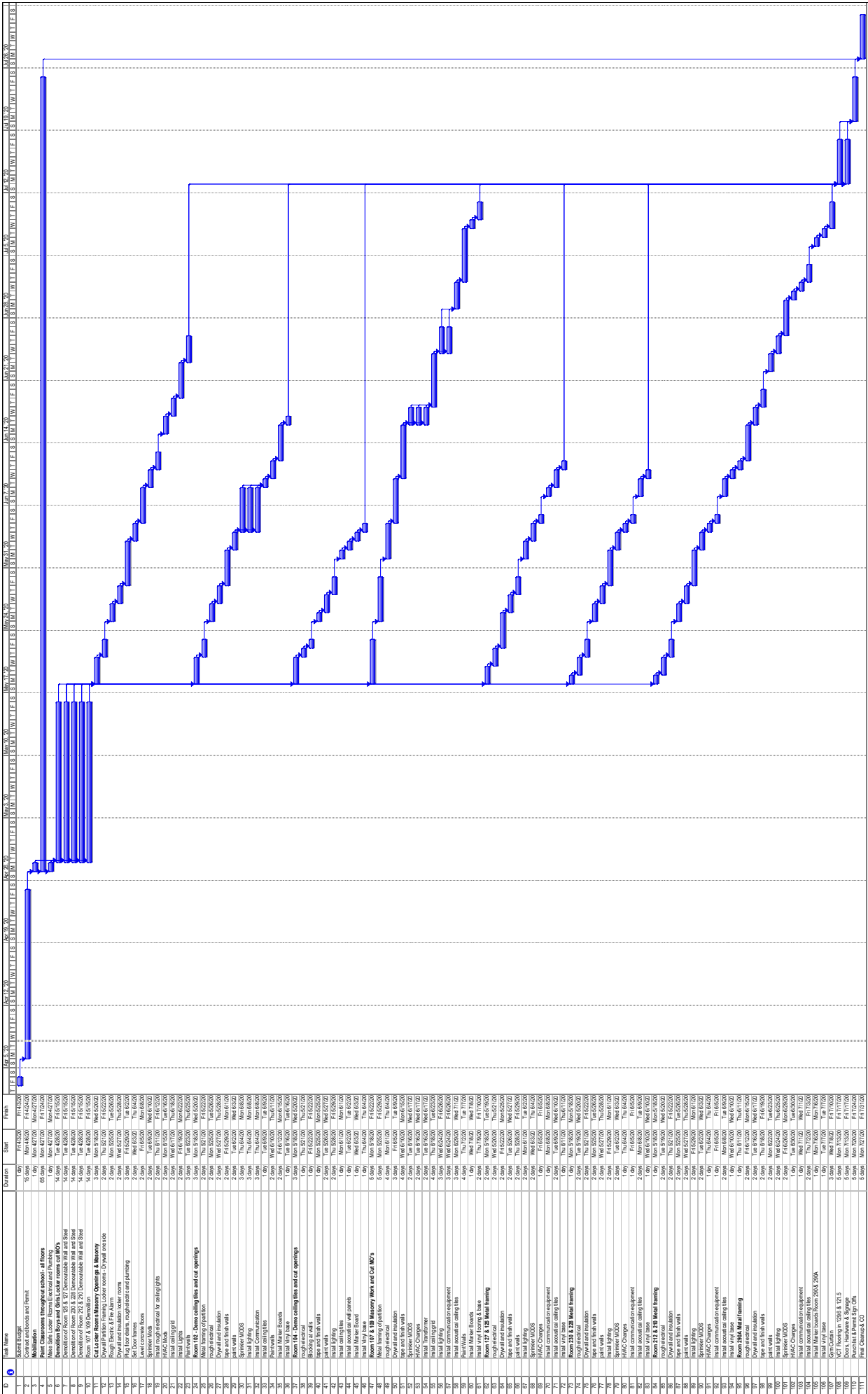
Contract: \$ 244,000  
Alt.1. Fire wall: \$ 8,575

Phase 1: Slab install is worth \$ 78,000

Sincerely,

  
Josh Gagné  
Chief Facilities Manager  
603-792-5304





for:

## NEW HAMPSHIRE

MANCHESTER.



29 Bourbon Street,  
Oxford, New Hampshire, 03110  
Phone (603) 785-2510




## GENERAL NOTES

## NEW WORK GENERAL NOTES

- [illegible]

## WALL | LEGEND

Mark	Dual	Description	ETC	Fifa Rating	URL No
◇		SPREROCK CLUB B USG 3.99 MIL. ST. 0.68 B P. 0.1 C 3.17 P. 0.68 B ST. 0.1 C SPREROCK CLUB B P USG			

## DRAWING INDEX:













COVER SHEET	
<b>ARCHITECTURAL</b>	
D1.1 DEMOLITION PLAN D1.2 DEMOLITION PLAN A1.1 GROUND FLOOR - KEY PLAN A1.2 FIRST FLOOR - KEY PLAN A1.2a ENLARGED PLANS A1.2b ENLARGED PLANS A1.3 SECOND FLOOR - KEY PLAN A1.3a ENLARGED PLANS A1.1 SCHEDULES & DETAILS	

# LOOSE / INTER / SCHEDULE AT MASONRY

(BY INSG. METAL)		MIN. BEARING AT EACH END
MASONRY OPENING	LUTEL SIZE	
UP TO 3'-0"	3'-1/2" x 3'-1/2" x 5/16"	6"
3'-1" TO 4'-6"	4'-4" x 3'-1/2" x 5/16"	6"
4'-7" TO 6'-0"	4'-5" x 3'-1/2" x 3/8"	6"
6'-1" TO 8'-6"	4'-5" x 3'-1/2" x 3/8"	6"

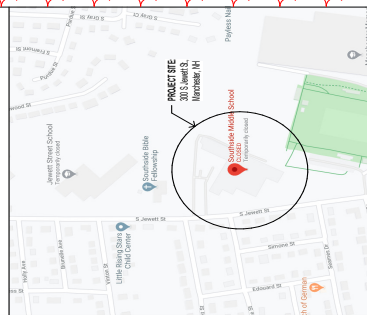
- NOTES:**
1. PROVIDE UNTELS OVER ALL OPENINGS (INCLUDING M.E.P. OPENINGS) EXCEPT UNTEL BLOCKS ARE PROVIDED.
  2. PROVIDE ONE ANGLE FOR EACH 4" WALL THICKNESS. FOR 8" WALLS, PROVIDE A TEE OR BUILT-UP SECTION WITH PROPERTIES EQUAL TO OR GREATER THAN 1.5 TIMES THE ANGLE PROPERTIES FOR A 4" WALL THICKNESS.
  3. ALL EXTERIOR UNTELS SHALL BE GALVANIZED BY THE HOT DIP PROCESS.

## NOTATION SYMBOLS

ROOM IDENTIFICATION	<p>ROOM NAME</p>  <p>ROOM NUMBER</p>	<p>VEHICLE</p>  <p>101</p>
DOOR TAGS	<p>DOOR NUMBER</p>  <p>101</p>	<p>DOOR NUMBER</p>  <p>101</p>
EQUIPMENT TAG	 <p>ELEVATING</p>	 <p>1A 1B 1C 1D</p>
INTERIOR ELEVATION TAG	 <p>ELEVATING</p>	 <p>1A 1B 1C 1D</p>
DETAIL SECONDARY TAG	 <p>ELEVATING</p>	 <p>1A 1B 1C 1D</p>
BALANCED DETAIL TAG	 <p>ELEVATING</p>	 <p>1A 1B 1C 1D</p>

The following table of abbreviations is provided for the convenience of the contractor. It is not intended to serve as a complete list of all abbreviations to be found in the contract documents.

## LOCATION MAP

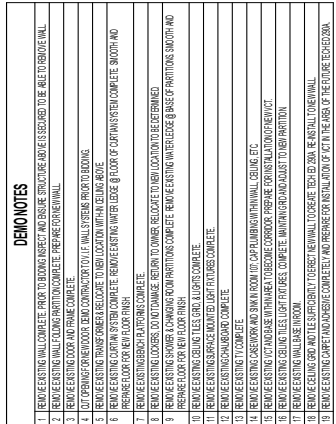


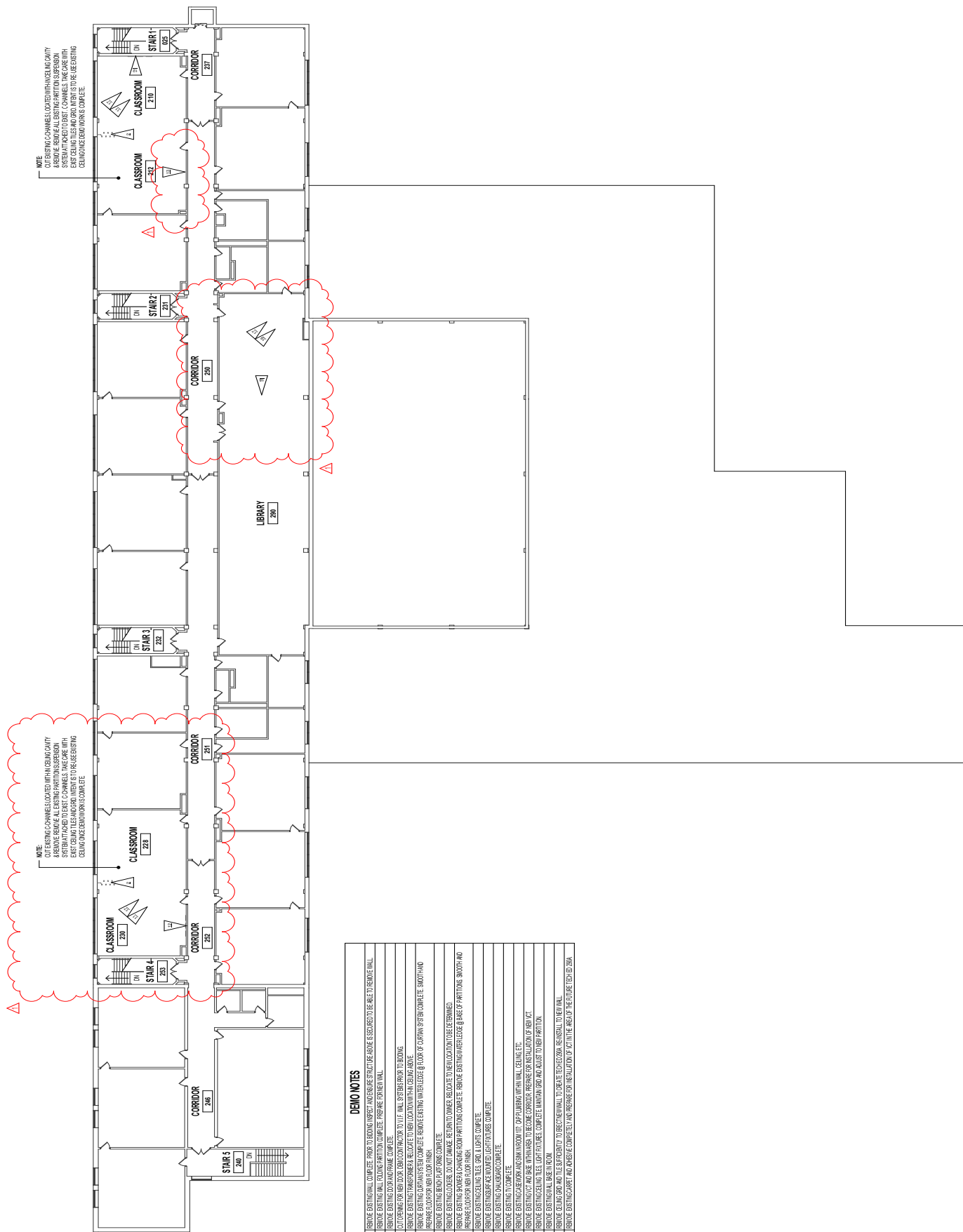
# Architectural

**Matuszewski Architects**  
29 Bourbon Street,  
Bedford, New Hampshire, 03110  
(603) 785-7519

[illegible]







- [illegible]



**MATUSZEWSKI  
ARCHITECTS**  
29 Beethoven Street,  
Bedford, New Hampshire, 03110  
Phone: (603) 752-7279



**ALUMINUM USED  
CONSTRUCTION**

REVISIONS

**SOUTHSIDE SCHOOL RENOVATIONS**  
MANCHESTER, NH

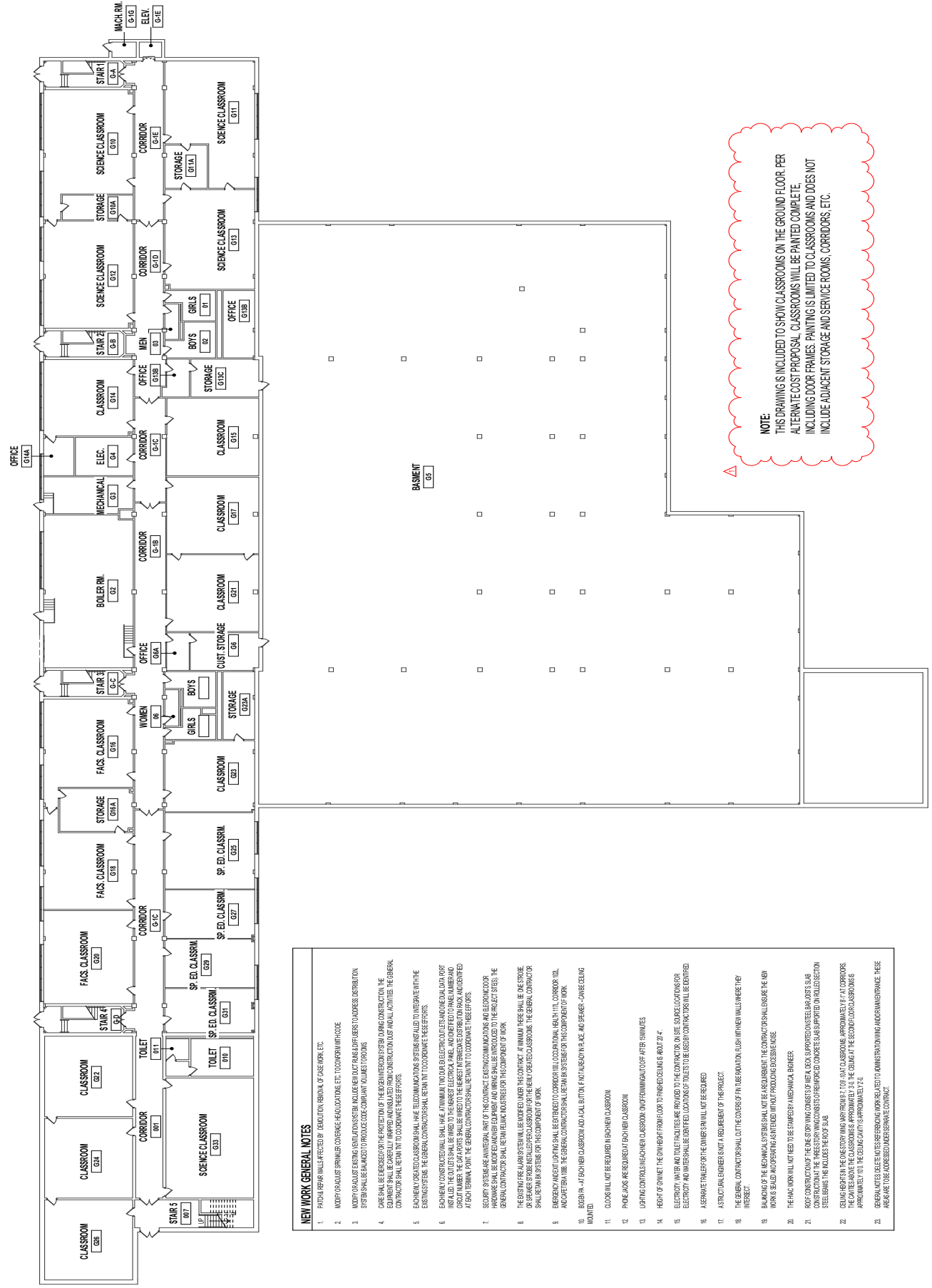
**GROUND FLOOR - KEY PLAN**

DATE: 4/21/2020  
SCALE: As Indicated  
PROJECT NO.: 19.22

**A1.1**

DRAWING NO.

4/21/2020 4:52:27 PM

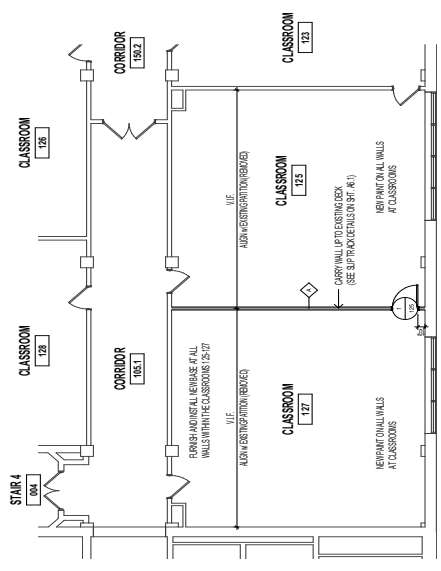




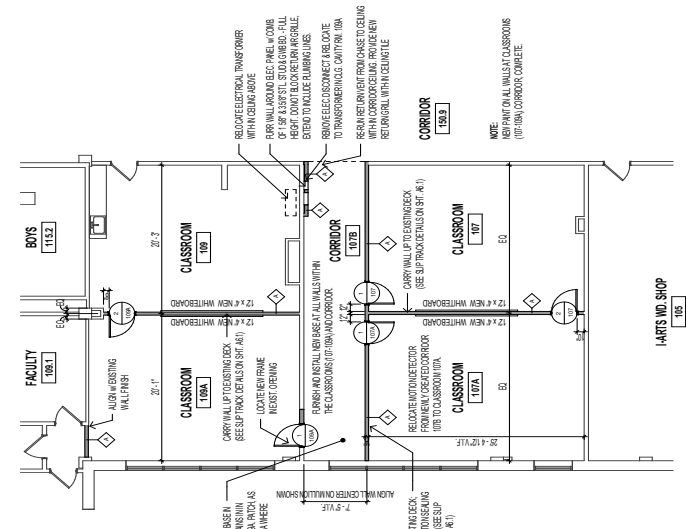
NOTE:  
PLEASE SEE "NETWORK NOTES" ON  
SHEET 01.0 OR A1.1 OR A1.2 OR A1.3

CEILING FIXTURE KEY

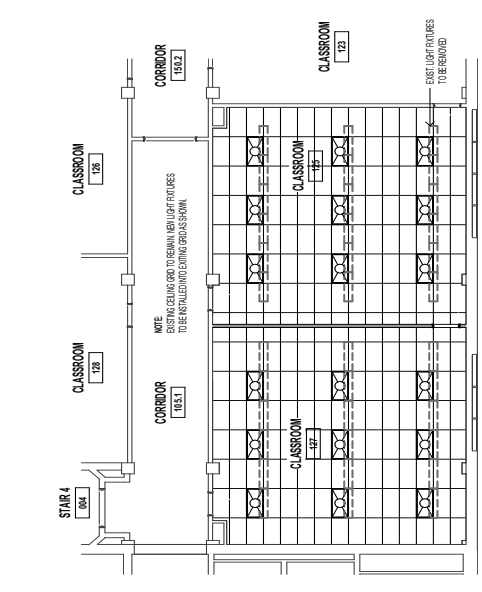
- 7'x4' LED LIGHT FIXTURE
- MECHANICAL SUPPLY AIR
- MECHANICAL RETURN AIR
- SUPERSED ACUSTICA PANEL TYPE I
- PAINTED GYPSUM WALL BOARD



A - FIRST FLOOR ROOM 127 & 125



B - CEILING PLAN - FIRST FLOOR ROOM 109 & 107





**ALUMINUM USED  
CONSTRUCTION**

REVISIONS

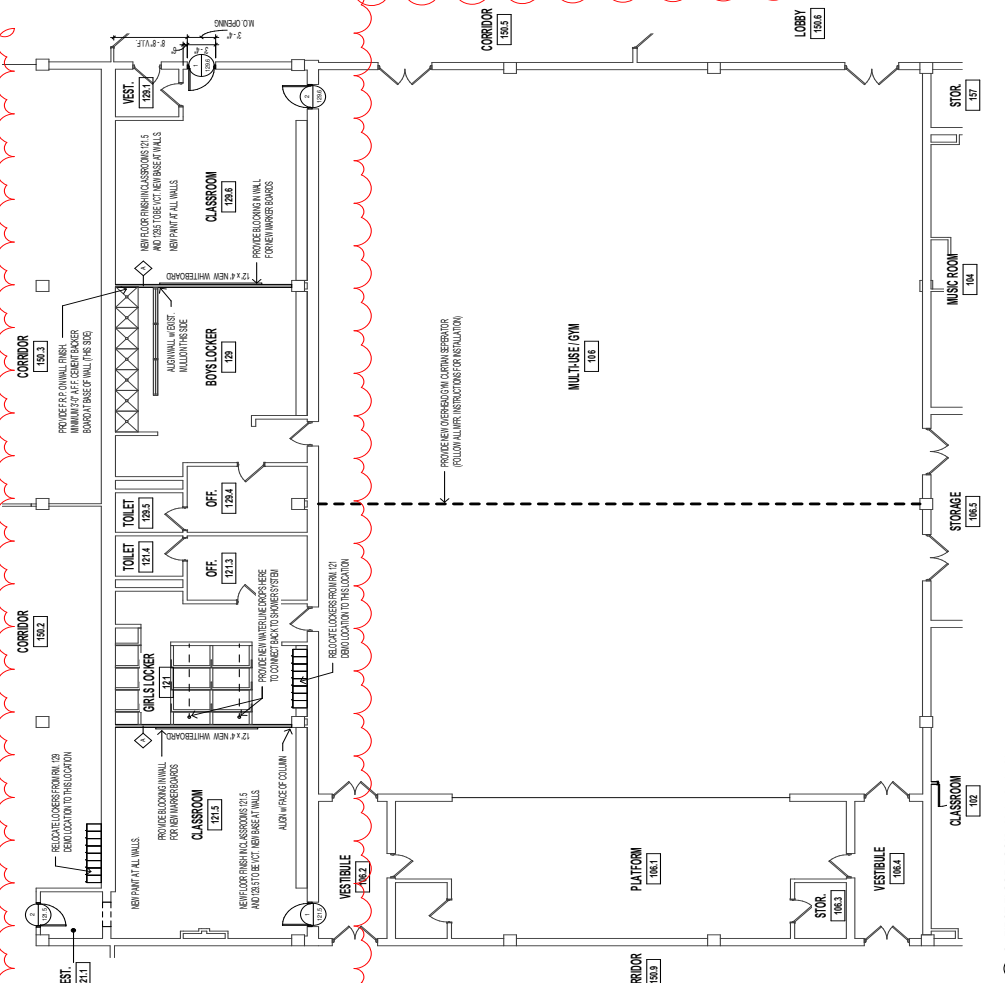
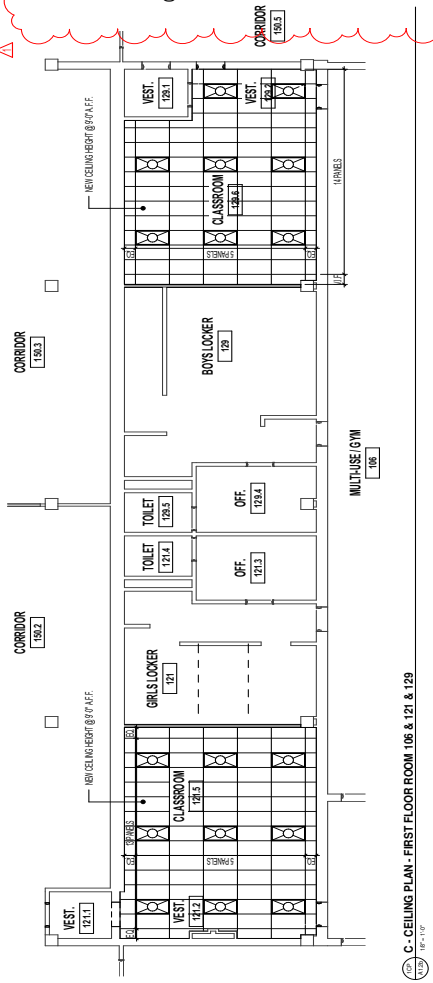
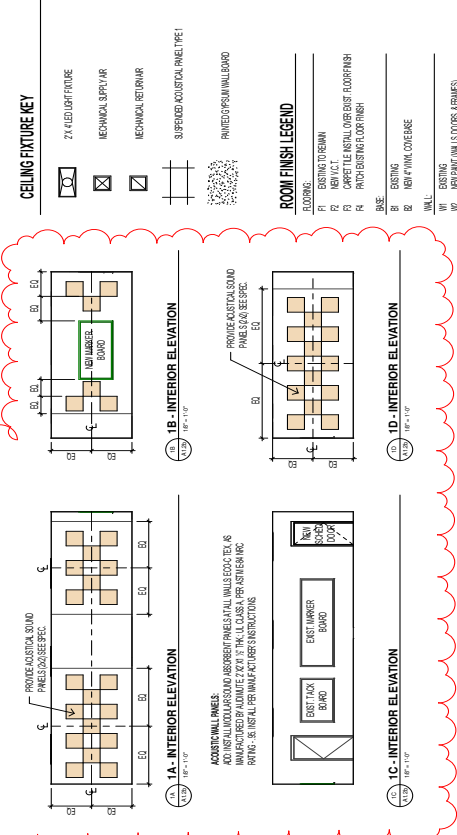
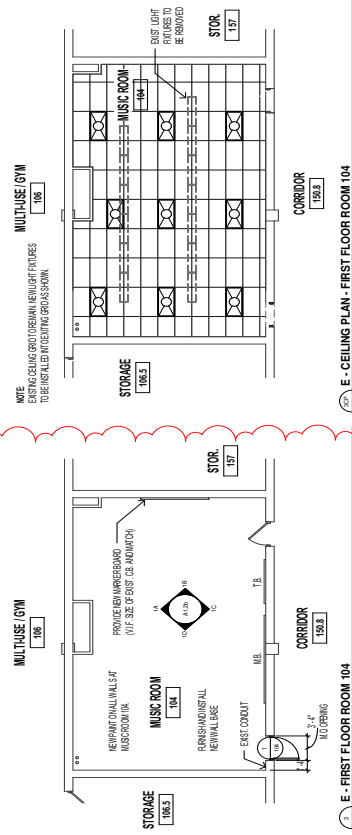
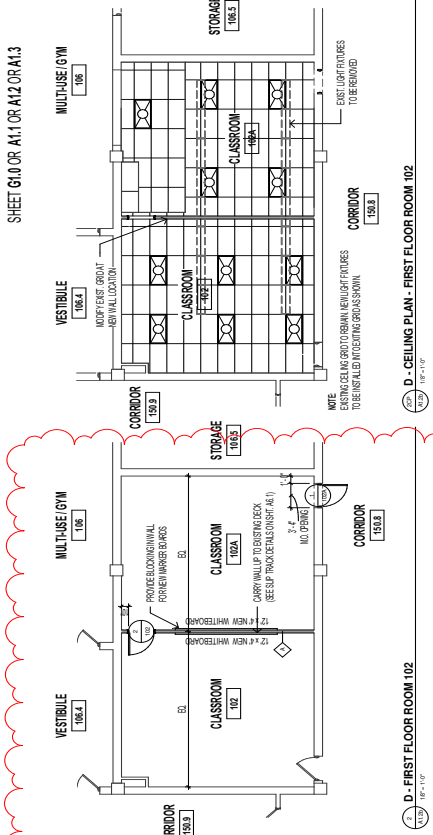
**ENLARGED PLANS**  
PROJECT: **SOUTHSIDE SCHOOL RENOVATIONS**  
MANCHESTER, NH

DATE: 4/21/2020  
SCALE: 1/8" = 1'-0"  
PROJECT NO.: 19.22

**A1.2b**

DRAWING NO.

NOTE:  
PLEASE SEE "NEWWORK NOTES" ON  
SHEET 01.0 OR A1.1 OR A1.2 OR A1.3





**MATUSZEWSKI  
ARCHITECTS**  
29 Bourbon Street,  
Bedford, New Hampshire, 03110  
Phone: (603) 757-7779



**ALUMINUM USED  
CONSTRUCTION**

REVISIONS

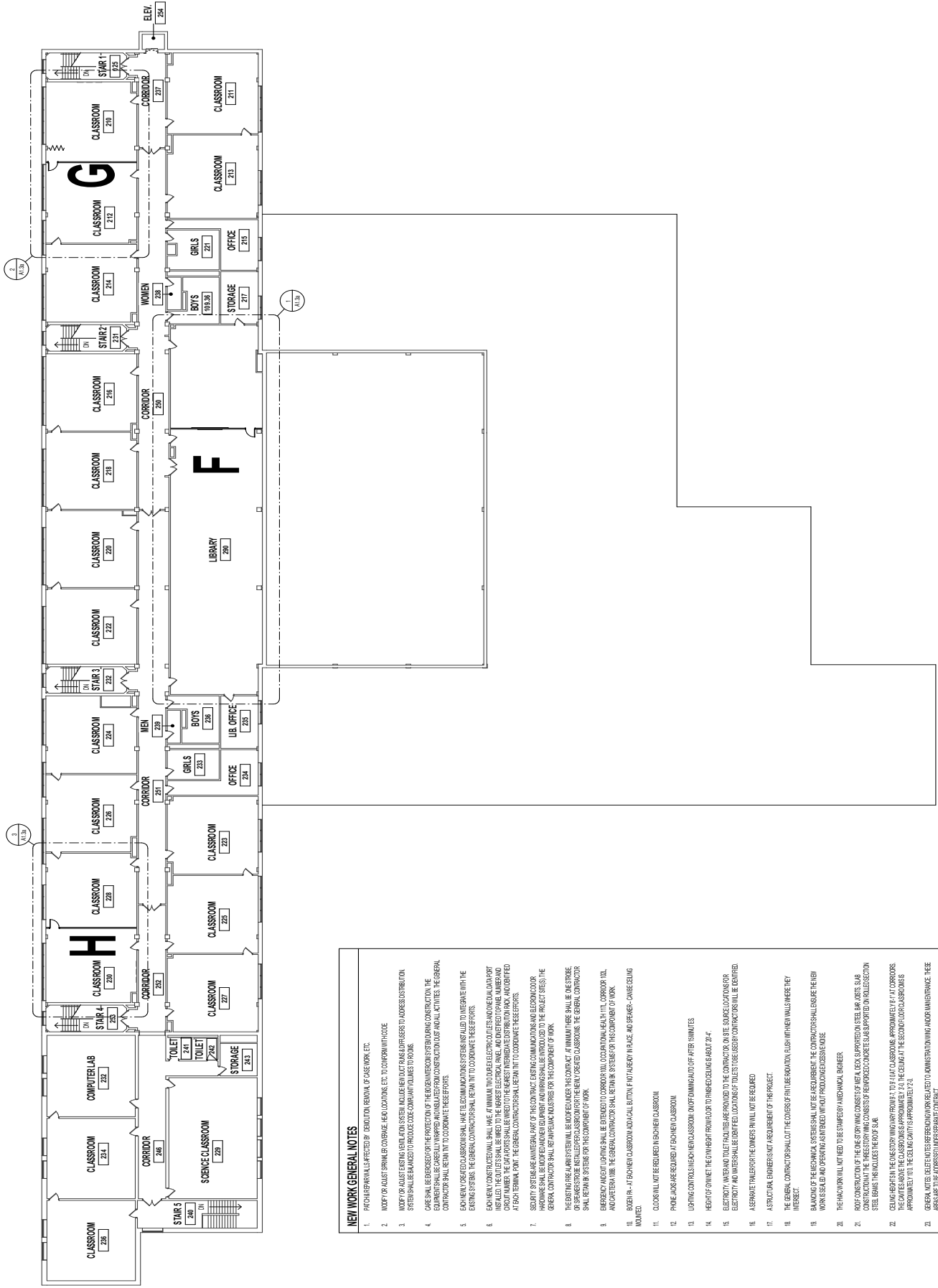
**SECOND FLOOR - KEY PLAN**  
PROJECT: **SOUTHSIDE SCHOOL RENOVATIONS**  
MANCHESTER, NH

DATE: 4/21/2020  
SCALE: AS INDICATED  
PROJECT NO.: 19-22

**A1.3**

DRAWING NO.

4/21/2020 4:18:27 PM

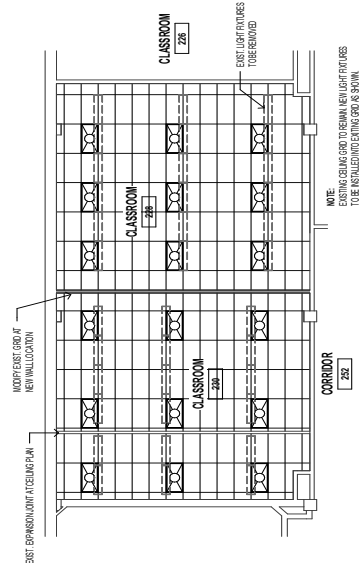


#### NEW WORK GENERAL NOTES

1. PROTECT EXISTING WALLS AFFECTED BY DEMOLITION, REMOVAL OF CASE WORK, ETC.
2. WORK FOR ADJUST SPRINKLER COVERAGE, HEAD LOCATIONS, ETC. TO COMPLY WITH CODE.
3. WORK FOR ADJUST EXISTING VENTILATION SYSTEM. INCLUDE NEW EXTRACT CASES UPGRADER TO ADDRESS DISTRIBUTION. SYSTEMS SHALL BE BALANCED TO PRODUCE CODE COMPLIANT VOLUMES TO ROOMS.
4. CASE SHALL BE DEMOLISHED WITH PROTECTION OF THE EXISTING INTERIOR SYSTEMS DURING CONSTRUCTION. THE EQUIPMENT SHALL BE CAREFULLY WRAPPED AND LABELED FROM CONSTRUCTION DUST AND ACTIVITIES. THE GENERAL CONTRACTOR SHALL REMAIN INTENT TO COORDINATE THESE EFFORTS.
5. EXISTING SYSTEMS OF CLASSROOMS SHALL HAVE THE COMMUNICATIONS SYSTEMS INSTALLED TO INTEGRATE WITH THE EXISTING SYSTEMS. THE GENERAL CONTRACTOR SHALL REMAIN INTENT TO COORDINATE THESE EFFORTS.
6. EXISTING CONCRETE WALLS SHALL HAVE A MINIMUM TWO (2) INCHES OF CONCRETE FOR EACH SIDE OF THE WALL. THE EXISTING WALLS SHALL BE REINFORCED WITH THE HARDEST ELECTRICAL PANEL AND DISCONNECTS. NUMBERED AND IDENTIFIED. THE DATA PORTS SHALL BE INSTALLED TO THE HARDEST INTERIOR DISTRIBUTION RACK AND IDENTIFIED AT EACH TERMINAL POINT. THE GENERAL CONTRACTOR SHALL REMAIN INTENT TO COORDINATE THESE EFFORTS.
7. SECURITY SYSTEMS ARE AN INTEGRAL PART OF THIS CONTRACT. EXISTING COMMUNICATIONS AND ELECTRICAL COLOR HARDWARE SHALL BE MAINTAINED AND EQUIPMENT AND HARDWARE SHALL BE PROVIDED TO THE PROJECT SITE. THE GENERAL CONTRACTOR SHALL REMAIN INTENT TO COORDINATE THESE EFFORTS.
8. THE EXISTING FIRE ALARM SYSTEM SHALL BE MAINTAINED AND EQUIPMENT. IF A MINIMUM FIVE (5) WALLS, ONE (1) FIRE ALARM SHALL BE INSTALLED PER CLASSROOM FOR THE NEW CREATED CLASSROOMS. THE GENERAL CONTRACTOR SHALL REMAIN INTENT TO COORDINATE THESE EFFORTS.
9. EXISTING WEIGHT LIFTING SHALL BE DEMOLISHED TO CORRESPOND WITH LOCAL BUILDING CODES. CORRIDOR WALL AND CEILING SHALL BE DEMOLISHED. THE GENERAL CONTRACTOR SHALL REMAIN INTENT TO COORDINATE THESE EFFORTS.
10. EXISTING - AT EACH NEW CLASSROOM ADD A CALL BUTTON, IF NOT ALREADY IN PLACE, AND SPEAKER - CASE CEILING MOUNTED.
11. CLOUDS WILL NOT BE REQUIRED IN EACH NEW CLASSROOM.
12. PHONE JACKS ARE REQUIRED AT EACH NEW CLASSROOM.
13. LIFTING CONTROLS IN EACH NEW CLASSROOM, ON OFF COMING AUTO OFF AFTER 15 MINUTES.
14. HEIGHT OF WINDOW THE CYM HEIGHT FROM FLOOR TO FINISHED CEILING IS ABOUT 24' 6".
15. ELECTRICITY, WATER AND TOILET FACILITIES ARE PROVIDED TO THE CONTRACTOR. ON SITE, SOURCE LOCATION FOR ELECTRICITY AND WATER SHALL BE IDENTIFIED LOCATIONS OF TOILETS TO BE DEMOLISHED CONTRACTOR WILL BE IDENTIFIED.
16. ASBESTOS TAILOR FOR THE OWNERS SHALL NOT BE REQUIRED.
17. A STRUCTURAL ENGINEER'S SIGNATURE IS REQUIRED FOR THE PROJECT.
18. THE GENERAL CONTRACTOR SHALL NOT THE CORNERS OF THE DEMOLITION, CLASH WITH THE WALLS WHERE THEY INTERSECT.
19. REMOVAL OF THE MECHANICAL SYSTEMS SHALL BE INSURANCE. THE CONTRACTOR SHALL BE THE NEW WORK IS SEALED AND OPERATING AS INSTALLED WITH PROCEEDING ASSUMPTIONS.
20. THE INACTION WILL NOT NEED TO BE STAMPED BY A MECHANICAL ENGINEER.
21. ROOF CONSTRUCTION OF THE NEW BUILDING SHALL BE A NEW, DUCK, CLIMBERED STEEL JOIST, SLAB CONSTRUCTION. THE EXISTING CONSTRUCTION OF THE BUILDING SHALL BE A NEW, DUCK, CLIMBERED STEEL JOIST, SLAB CONSTRUCTION. THE EXISTING CONSTRUCTION OF THE BUILDING SHALL BE A NEW, DUCK, CLIMBERED STEEL JOIST, SLAB CONSTRUCTION.
22. CEILING HEIGHT IN THE NEW BUILDING SHALL BE APPROXIMATELY 10' 4" AT CLASSROOMS, APPROXIMATELY 11' 4" AT CORRIDORS, APPROXIMATELY 12' 0" AT THE SECOND FLOOR CLASSROOMS, APPROXIMATELY 13' 0" AT THE CEILING IS APPROXIMATELY 12' 0".
23. GENERAL NOTES, ELEVATIONS, REFERENCE TO ADMINISTRATION AND/OR MAINTENANCE THESE ARE TO BE ADAPTED TO THE NEW BUILDING.

Floor plan of Classroom 250. The room is rectangular with a door on the left wall. A horizontal line divides the room into two sections. The top section is labeled 'CLASSROOM 250' and contains a 'CARRY WALL UP TO EXISTING DECK (SEE SLIP PHOTO DETAILS ON SITE A4.1)'. The bottom section is labeled 'CLASSROOM 250' and contains a 'PROJECTOR FLIP WARD BOARD (V/F SEE EXISTENT C.B. AND SWITCH)'. The left wall has a door and a window. The right wall is labeled 'CORRIDOR 250'. Dimensions are indicated: 'V/F 4.0M (EXTENSION REQUIRED)' for the top section and 'V/F 4.0M (EXTENSION REQUIRED)' for the bottom section. A small diamond symbol is located on the horizontal dividing line.

**H - SECOND FLOOR ROOM 228 & 230**



<sup>4</sup> H - CEILING PLAN - SECOND FLOOR ROOM 228 & 230

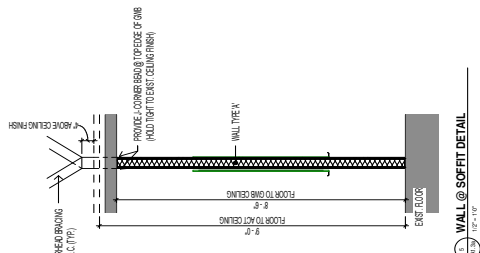
**NOTE:**  
EXISTING CEILING GRID TO REMAIN. NEW LIGHT FIXTURES  
TO BE INSTALLED INTO EXISTING GRID AS SHOWN.

### CEILING FIXTURE KEY

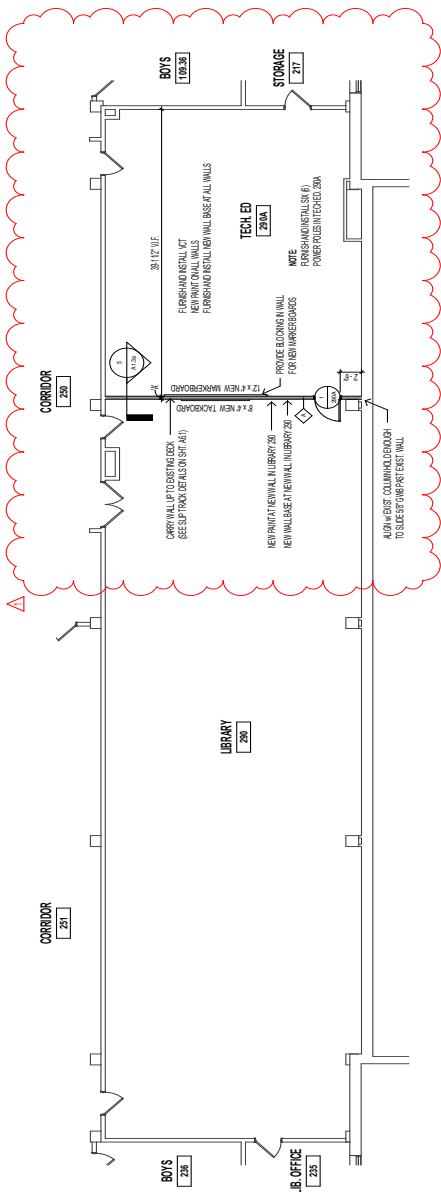


### ROOM FINISH LEGEND

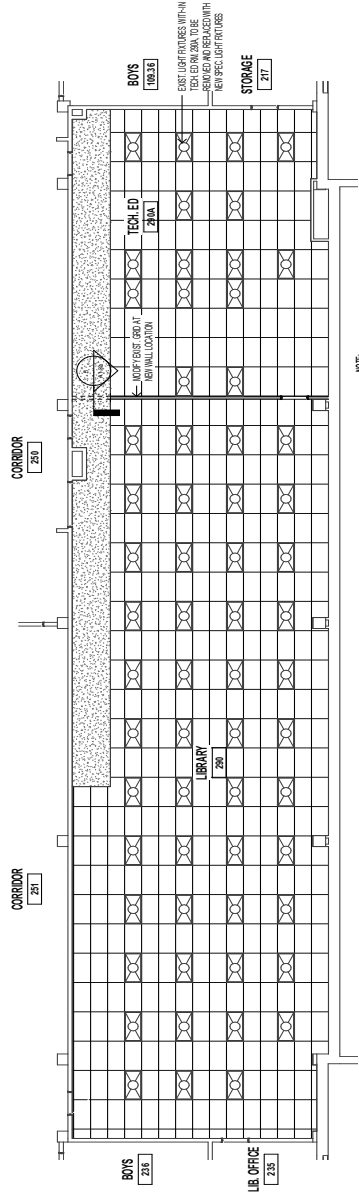
FLOORING		BASE		WALL:		CEILING:	
F1	EXISTING TO REMAIN	B1	EXISTING	W1	EXISTING	C1	EXISTING TO REMAIN (REPAIR/REMOVE TILES)
F2	NEW VCT	B2	NEW 4" W/1 COLE BASE	W2	NEW PAINT (WALLS, DOORS, FRAMES)	C2	NEW ACUSTIC CEILING TILES
F3	CARPET TILE INSTALL OVER EXIST FLOOR FINISH			W3	REGROUT/REPLACE/CEILING PANEL	C3	PAINTED GWB.
F4	PATCH EXISTING FLOOR FINISH			W4	PAINT TRIM/VAL		



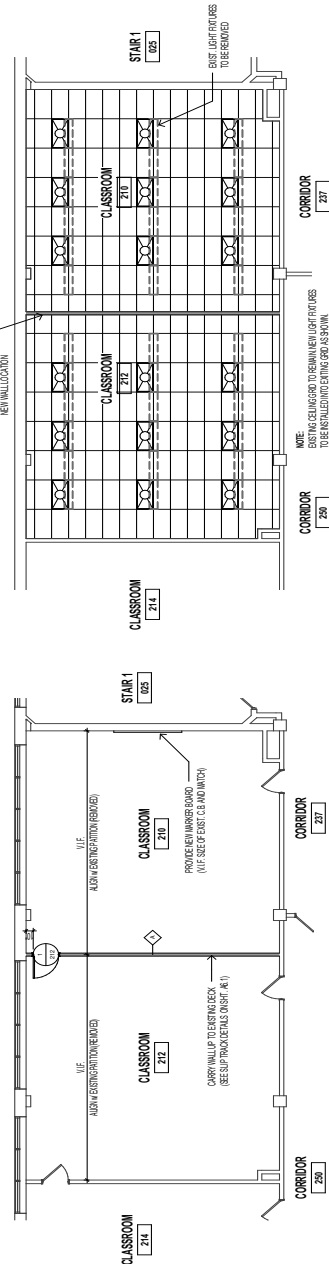
6 WALL @ SOFFIT DETAIL



**F - SECOND FLOOR ROOM 290**

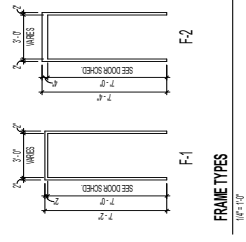
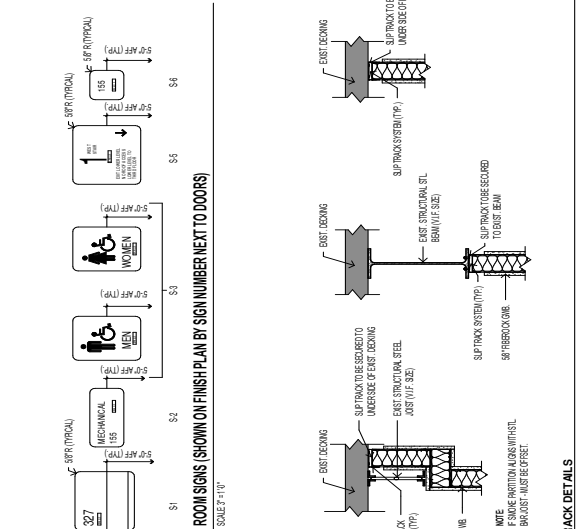
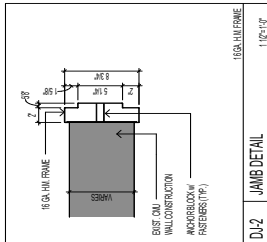


**F - CEILING PLAN - SECOND FLOOR ROOM 290**



2 G - SECOND FLOOR ROOM 212 & 210





DOOR SCHEDULE																
DOOR				FRAME				DETAILS				REMARKS				
Door #	Size	Thk.	Material	Type	Finish	Material	Type	Finish	Head	Jamb	SH	HL	Label	Door Sign	Remarks	Door #
1	102	36" H x 36" W	WOOD	VP	CLEAR	HOLLOW METAL	F2	PAINTED	DN2	DN2	2					1 102A
2	102	36" H x 36" W	WOOD	VP	CLEAR	HOLLOW METAL	F1	PAINTED	DN1	DN1	1					1 102A
3	104	36" H x 36" W	WOOD	VP	CLEAR	HOLLOW METAL	F2	PAINTED	DN2	DN2	2					1 104A
4	104	36" H x 36" W	WOOD	VP	CLEAR	HOLLOW METAL	F1	PAINTED	DN1	DN1	1					1 104A
5	106	36" H x 36" W	WOOD	VP	CLEAR	HOLLOW METAL	F1	PAINTED	DN1	DN1	1					1 106A
6	106	36" H x 36" W	WOOD	VP	CLEAR	HOLLOW METAL	F1	PAINTED	DN1	DN1	1					1 106A
7	108	36" H x 36" W	WOOD	VP	CLEAR	HOLLOW METAL	F1	PAINTED	DN1	DN1	1					1 108A
8	108	36" H x 36" W	WOOD	VP	CLEAR	HOLLOW METAL	F1	PAINTED	DN1	DN1	1					1 108A
9	110	36" H x 36" W	WOOD	VP	CLEAR	HOLLOW METAL	F2	PAINTED	DN2	DN2	2					1 110A
10	110	36" H x 36" W	WOOD	VP	CLEAR	HOLLOW METAL	F2	PAINTED	DN2	DN2	2					1 110A
11	112	36" H x 36" W	WOOD	VP	CLEAR	HOLLOW METAL	F1	PAINTED	DN1	DN1	1					1 112A
12	112	36" H x 36" W	WOOD	VP	CLEAR	HOLLOW METAL	F1	PAINTED	DN1	DN1	1					1 112A
13	114	36" H x 36" W	WOOD	VP	CLEAR	HOLLOW METAL	F2	PAINTED	DN2	DN2	2					1 114A
14	114	36" H x 36" W	WOOD	VP	CLEAR	HOLLOW METAL	F2	PAINTED	DN2	DN2	2					1 114A
15	116	36" H x 36" W	WOOD	VP	CLEAR	HOLLOW METAL	F1	PAINTED	DN1	DN1	1					1 116A
16	116	36" H x 36" W	WOOD	VP	CLEAR	HOLLOW METAL	F1	PAINTED	DN1	DN1	1					1 116A
17	118	36" H x 36" W	WOOD	VP	CLEAR	HOLLOW METAL	F2	PAINTED	DN2	DN2	2					1 118A
18	118	36" H x 36" W	WOOD	VP	CLEAR	HOLLOW METAL	F2	PAINTED	DN2	DN2	2					1 118A
19	120	36" H x 36" W	WOOD	VP	CLEAR	HOLLOW METAL	F1	PAINTED	DN1	DN1	1					1 120A
20	120	36" H x 36" W	WOOD	VP	CLEAR	HOLLOW METAL	F1	PAINTED	DN1	DN1	1					1 120A
21	122	36" H x 36" W	WOOD	VP	CLEAR	HOLLOW METAL	F2	PAINTED	DN2	DN2	2					1 122A
22	122	36" H x 36" W	WOOD	VP	CLEAR	HOLLOW METAL	F2	PAINTED	DN2	DN2	2					1 122A
23	124	36" H x 36" W	WOOD	VP	CLEAR	HOLLOW METAL	F1	PAINTED	DN1	DN1	1					1 124A
24	124	36" H x 36" W	WOOD	VP	CLEAR	HOLLOW METAL	F1	PAINTED	DN1	DN1	1					1 124A
25	126	36" H x 36" W	WOOD	VP	CLEAR	HOLLOW METAL	F2	PAINTED	DN2	DN2	2					1 126A
26	126	36" H x 36" W	WOOD	VP	CLEAR	HOLLOW METAL	F2	PAINTED	DN2	DN2	2					1 126A
27	128	36" H x 36" W	WOOD	VP	CLEAR	HOLLOW METAL	F1	PAINTED	DN1	DN1	1					1 128A
28	128	36" H x 36" W	WOOD	VP	CLEAR	HOLLOW METAL	F1	PAINTED	DN1	DN1	1					1 128A
29	130	36" H x 36" W	WOOD	VP	CLEAR	HOLLOW METAL	F2	PAINTED	DN2	DN2	2					1 130A
30	130	36" H x 36" W	WOOD	VP	CLEAR	HOLLOW METAL	F2	PAINTED	DN2	DN2	2					1 130A

## DOOR SCHEDULE

<p><b>SCHEDULES &amp; DETAILS</b></p>		<p><b>SOUTHSIDE SCHOOL RENOVATIONS</b></p> <p>for</p> <p><b>MANCHESTER FACILITIES</b></p> <p>MANCHESTER, NH</p>	
---------------------------------------	--	-----------------------------------------------------------------------------------------------------------------	--

DATE	4/21/2020
SCALE	As indicated
PROJECT NO.	19.22

## A6.1

DRAWING NO.

TO: Board of School Committee

FROM: Committee on Finance and Facilities  
Committee Members Beaudry, Soule, Shea, Beaulieu and Porter

DATE: May 29, 2020

RE: Approval of construction at Southside Middle School for the 5<sup>th</sup> Grade Inclusion

At a May 28, 2020 Special meeting of the Finance and Facilities Committee, it was moved to approve the construction plans for Southside Middle School for the 5<sup>th</sup> Grade Inclusion.

Committee Members Beaudry, Soule, Shea, Beaulieu and Porter were in favor.

*On May 29, 2020, a phone poll was conducted by the full Board of School Committee. The phone poll was to approve the construction plans for Southside Middle School for the 5<sup>th</sup> Grade inclusion. The reason for the special meeting and the phone poll were due to the Joint School Buildings Committee hearing this item on Tuesday, June 2<sup>nd</sup>, 2020. The vote was as follows:*

*Committee Members Porter, Kelley Arnold, Soule, Want, Dobson, Shea, Perich, Beaudry, Beaulieu, Leapley, Thomas, Lachance and Mayor Craig were in a favor and voted yea. Committee Member O'Connell voted nay. Committee Member Bergeron was absent as he was unreachable during the phone poll.*

Respectfully submitted,



Angela Carey

Clerk of the Board of School Committee